

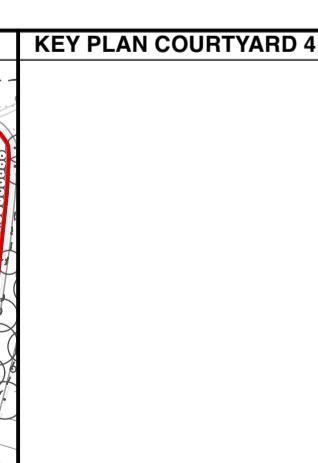
GENERAL NOTES:

1. Drawings to be read in conjunction with Architect's Design Report accompanying the application.
2. Drawings to be read in conjunction with Landscape Architect's Design Report, Archaeologists drawings and reports, Civil & Structural Engineers drawings and reports, and all other surveys and reports.
3. Method statements and temporary works proposals including sequencing to be submitted by contractor to Structural Engineer for acceptance prior to demolition work.
4. Note existing structures are uneven and existing levels may vary in relation to the levels shown.
5. Refer to the Environmental Impact Assessment and Environmental Impact Assessment for further information on the repair and conservation of historic fabric.
6. Refer to the Photographic Survey for further information on the condition of the building.
7. All existing historic masonry structures to be assessed and repaired, consolidation, raking out of joints, repointing and render repairs will be carried out using lime mortar and lime mortar and lime reinforcement where necessary.
8. Where repair works are noted best practice conservation techniques will be undertaken, to include grouting, pointing, mortaring, lime mortar reinforcement (embodied or hidden) where required.
9. Additional repair works may be required following full inspection from scaffolding. Indicative repairs shown for planning purposes.

NOTES: (Refer to Drawings L-101 to L-123 for Proposed Works)

1. Existing perimeter wall, formed predominantly of rubble calp limestone with some brick infill to west of courtyard 4, to be partially taken down and rebuilt with some brick infill.
2. Existing perimeter wall, formed predominantly of rubble calp limestone with some brick infill to north of courtyard 4 to be carefully taken down and rebuilt with some brick infill.
3. Existing temporary cabin structures to be removed.
4. Existing temporary props and modern security railings to yard walls to be removed.
5. Existing concrete floor slabs to be removed.
6. Existing cut stone floor slabs to be carefully lifted and stored on site for reuse.
7. Existing floor tiles to be carefully lifted and retained for reuse on site, existing floor slab beneath to be removed.
8. Existing loose cobbles to be carefully removed and stored on site for future reuse.
9. Floor boards and non-historic solid floor slab to be removed.
10. Existing masonry dividing wall to be removed.
11. Blockwork infill to be removed from existing opening.
12. Existing plywood and blockwork crosswall to be removed.
13. Existing temporary metal security railings to be removed.
14. Existing modern timber door to be removed.
15. Existing timber doors to be removed.
16. Existing dressed granite door surrounds to be cleaned and repaired as required.
17. Existing timber sliding sash windows to be repaired and reglazed.
18. Existing window frame & temporary timber sheeting and bracing to be removed.
19. Existing window frame to be removed.
20. Existing lime and lime brick infill.
21. Existing lime and lime brick infill to be removed with exposed brick/stone door and window reveals to be made good (with local repairs/rerender) as required.
22. Existing lime rendered finish to the existing barrel vault, with local repairs as required.
23. Existing rubble calp limestone wall with areas of brick infill and evidence of former openings including brick arches. Pennystrock pointing to existing brick window and door reveals. Remnants of lime render to courtyard facing facades.
24. Existing rubble calp limestone walls with areas of brick infill and evidence of former openings, with brick door and window reveals and slightly projecting brick eaves courses. Remnants of lime render to courtyard facing facades.
25. Existing lime and lime brick infill.
26. Existing lime and lime brick infill.
27. Existing rubble calp limestone wall with some areas of brick infill.
28. Existing lime and lime brick infill.
29. Modern concrete blockwork wall to be removed.
30. New opening within existing wall. Opening to follow existing coursed limestone wall.
31. Existing temporary intermediate/mezzanine floor structure to be removed.
32. Existing temporary profiled metal roof covering to be removed. Clay ridge tiles to be carefully removed and stored on site for reuse.
33. Existing fibreglass roof including fascias and flashings to be removed.
34. Existing temporary timber trussed rafter to be removed.

35. Existing temporary plywood sheeting to be removed from all openings.
36. Existing trussed rafters to be retained.
37. Existing lime and lime brick infill to be removed from all openings.
38. Existing PVC rainwater goods to be removed.
39. Exposed concrete/concrete blockwork to be made good in preparation for new opening.
40. Location of repair to existing walls where former building elements have been removed.
41. Top of existing predominantly rubble calp limestone wall to be removed.
42. Existing lime and lime agricultural equipment including damaged troughs and stepped concrete floor to be removed.
43. Existing modern metal security railings and gates to be removed.
44. Existing lime and lime brick infill.
45. Existing timber partition wall to be removed.
46. Existing lime and lime brick infill.
47. Existing lime and lime brick infill.
48. Existing lime and lime brick infill.
49. Evidence of previous archaeological opening up works, repairs to be discussed and agreed with archaeologist.



Rev.	Date	Description	Dim.	Chk	Project
			IH	CC	Stables & Courtyards at Rathfranham Castle Park
					Rathfranham Castle Park
					South Dublin County Council
					Planning
					Courtyard 4 Elevations- Existing/Demolition
					Project Stage Stage 2a
					Date 01.05.2025
					Scale 1:100@A1
					Project No. 0661
					Drawing No. L-023
					Revision

(Use signed dimensions only
Check all dimensions on site
Read in conjunction with proposed works drawings
Show any dimensions to the Architects before putting on site
Copyright of this drawing is
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whole or in part without prior
consent)

Application Boundary Shown in RED
Demolition / Removed
Proposed demolition works shown in BLUE
Includes elements to be rebuilt or salvaged for reuse.

Refer to notes for further detail

Existing
FFL 00.00 Existing Spot Level
Refer to notes for further detail

Howley Hayes Cooney
19 Rock Hill, Blackrock,
Dún Laoghaire, D12 P933
01 278 4144
bhcooney.ie