

LEGEND & GENERAL INFORMATION
 DRAWINGS TO BE READ IN CONJUNCTION WITH STRUCTURAL ENGINEERS DETAILS AND SPECIFICATIONS

- GROUND / FLOOR LEVEL INDICATOR
- SECTION LINE INDICATOR
- DETAIL INDICATOR
- LEVEL INDICATOR
- CEILING LEVEL INDICATOR
- WINDOW NO. - REFER TO SCHEDULES
- DOOR NO. - REFER TO SCHEDULES
- ROOFLIGHT NO. - REFER TO SCHEDULES

SITE BOUNDARY

PUBLIC REALM EXTENTS

TOTAL SITE AREA: 2,456 SQ M / 0.2456 HECTARES
 GFA: 1418 SQ M
 PLOT RATIO: 0.57
 TOTAL UNITS: 16 NO. UNITS
 SITE COVERAGE: 29%

- TYPE A - ground floor single storey apartment - 1B/2P
- TYPE B - first floor duplex apartment - 3B/5P
- TYPE C - ground floor single storey apartment - 1B/2P
- TYPE D - first floor single storey apartment - 1B/2P
- TYPE E - second floor single storey apartment - 2B/4P
- TYPE F - ground floor single storey apartment - 2B/3P
- TYPE G - ground floor single storey apartment - 2B/3P
- TYPE H - first floor single storey apartment - 2B/3P
- TYPE J - first floor single storey apartment - 2B/3P
- TYPE K - second floor single storey apartment - 1B/2P

PROPOSED DENSITY: 65 DWELLINGS PER HECTARE
 CAR PARKING PROVIDED: 12 NO. SPACES PROVIDED (INCL. 2ND. ACCESSIBLE PARKING SPACES)

OS MAP SHEET NO.: 3389-14

PROPOSED EXTERNAL FINISHES & LANDSCAPING

PUBLIC EXTERNAL AREAS:
 CARRIAGEWAY: ASPHALT ON BASE COURSE TO MATCH EXISTING ROAD COVERING INSTALLED TO REQUIRED FALLS AND ENGINEER'S DETAIL
 FOOTWAY: INSTU CONCRETE SLAB TO REQUIRED FALLS
 RAISED CARRIAGEWAY: PERMEABLE PAVING SETTS OVER EXISTING ROAD SURFACE AS REQUIRED TO ENGINEER'S DETAIL
 PARKING SPACES: PERMEABLE PAVING SETTS TO ENGINEER'S DETAIL

PRIVATE EXTERNAL AREAS:
 FOOTWAY: INSTU CONCRETE SLAB TO REQUIRED FALLS
 FRONT GARDENS: PERMEABLE PAVING FLAGSETS WITH SUDS IMPLEMENTATION TO REQUIRED FALLS
 REAR GARDENS: PERMEABLE PAVING FLAGSETS WITH SUDS IMPLEMENTATION TO REQUIRED FALLS

OUTLINE SPECIFICATION
 FOUNDATIONS: CONCRETE STRIP FOUNDATIONS TO REQUIRED WIDTHS AS PER ENGINEER'S DETAIL

GROUND FLOOR: CONCRETE GROUND FLOOR SLAB OVER INSULATION TO ENGINEER'S DETAIL

UPPER FLOORS: TIMBER/CONCRETE UPPER FLOORS TO ENGINEER'S DETAIL

ROOF FINISH: SEDUM ROOF AS SPECIFIED TO ARCHITECT'S LATER DETAIL

EXTERNAL WALLS: CAVITY WALL CONSTRUCTION; BRICKWORK OR RENDER FINISH TO ARCHITECT'S LATER DETAIL AND SPECIFICATION

WINDOWS AND DOORS: WINDOWS TO ARCHITECT'S DETAIL DESIGN AND TO MANUFACTURER'S DETAIL AND SPECIFICATION

GATES: GALVANISED / TIMBER CLAD STEEL FRAME GATES TO ARCHITECT'S LATER DETAIL AND SPECIFICATION

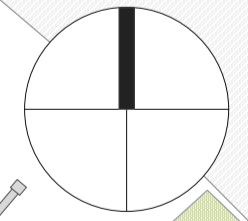
DRAINAGE: DRAINS TO FALL 1:60; FOUL AJS TO MAIN SEWER; ALL TO ENGINEER'S DETAIL AND TO SOUTH DUBLIN CITY COUNCIL'S DRAINAGE APPROVAL

RAINWATER GOODS: DOWNPIPES TO ARCHITECT'S LATER DETAIL AND SPECIFICATION

LANDSCAPE: SOFT AND HARD LANDSCAPING, TREE SELECTION AND SHRUBBERY TO ARCHITECT'S / LANDSCAPE ARCHITECT'S LATER DETAIL DESIGN



1
 PA-901
PROPOSED SITE LAYOUT PLAN - GROUND FLOOR
 1:200 @A1 / 1:400 @A3



REVISIONS	STATUS	DRAWN	CHECKED
A	13/12/23	S179A PLANNING	COF PK

PROJECT: SOCIAL HOUSING AT ROSSFIELD, TALLAGHT
 DRAWING: SITE LAYOUT PLAN - GROUND FLOOR
 JOB NO: 2235 CLIENT: SOUTH DUBLIN CITY COUNCIL
 DATE: DEC '23 SCALE: 1:200 @A1 / 1:500 @A3
 PAUL KEOGH ARCHITECTS, CATHEDRAL COURT, NEW ST., DUBLIN 8.
 TEL NO: 01 6791551 FAX NO: 01 6793476 E-MAIL: info@pka.ie

DRAWING NO.: 2235 / PA / 901 / A

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1
PA-003
PROPOSED SECOND FLOOR PLAN
1:100 @A1 / 1:200 @A3

REVISIONS	STATUS	DRAWN	CHECKED
A	13/12/23	S179A PLANNING	COF PK

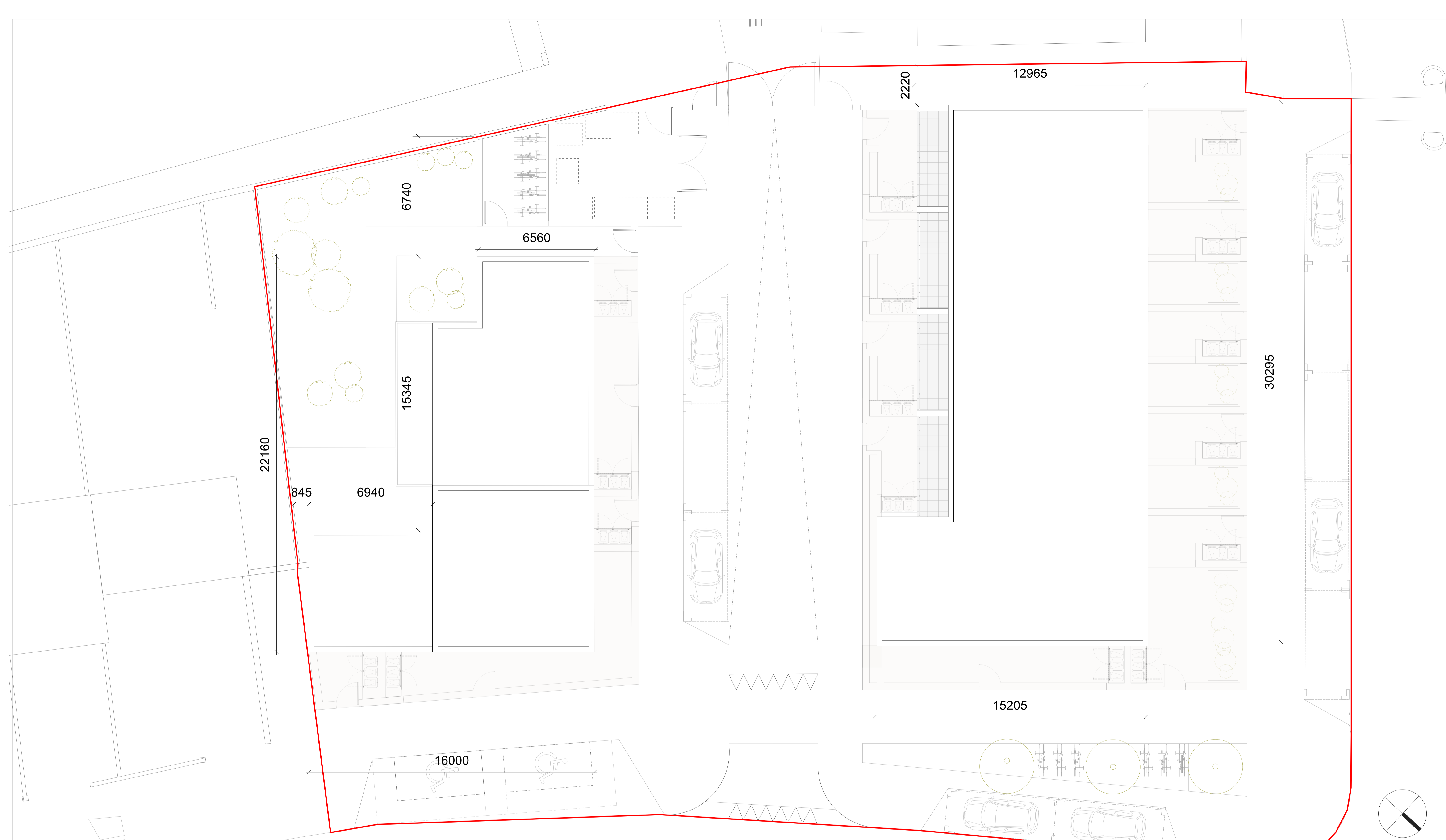
PROJECT: SOCIAL HOUSING AT ROSSFIELD, TALLAGHT
DRAWING: PROPOSED SECOND FLOOR PLAN
JOB NO: 2235 CLIENT: SOUTH DUBLIN CITY COUNCIL
DATE: DEC '23 SCALE: 1:100 @A1 / 1:200 @A3
PAUL KEOGH ARCHITECTS, CATHEDRAL COURT, NEW ST., DUBLIN 8.
TEL NO: 01 6791551 FAX NO: 01 6793476 E-MAIL: info@pka.ie

DRAWING NO.: 2235 / PA / 003 / A

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FIELD AVE

1
PA-004

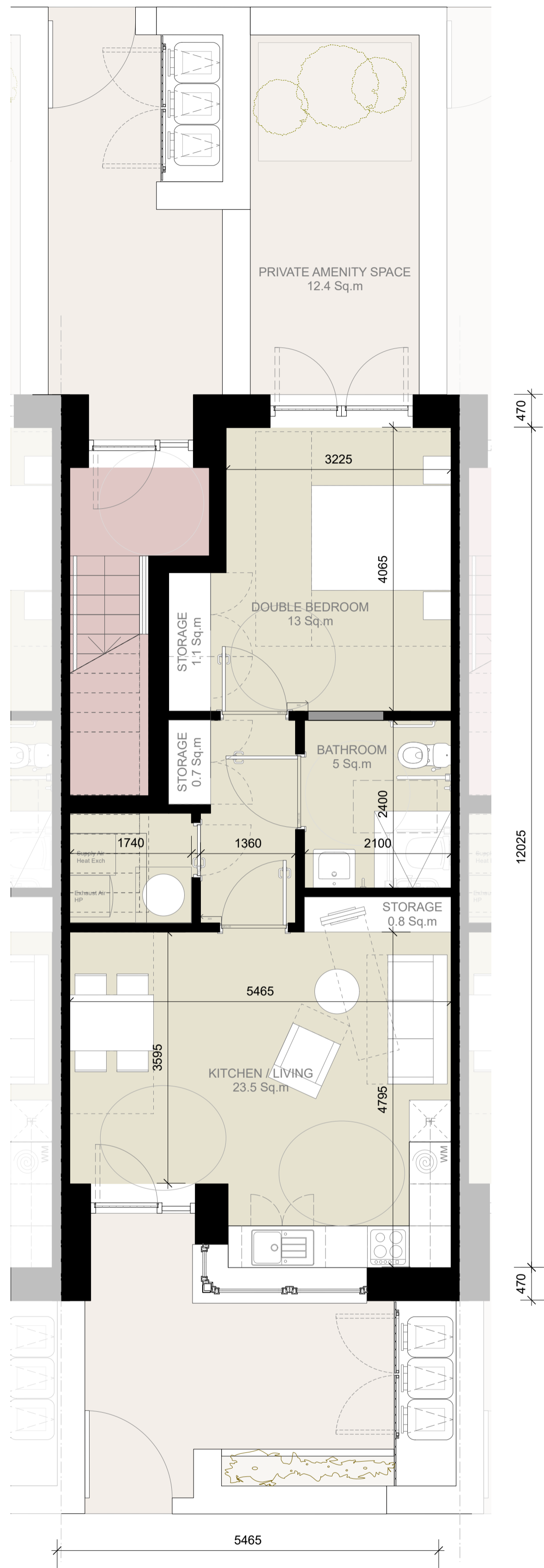
PROPOSED ROOF FLOOR PLAN
1:100 @A1 / 1:200 @A3

REVISIONS	STATUS	DRAWN	CHECKED
A	13/12/23	S179A PLANNING	COF PK

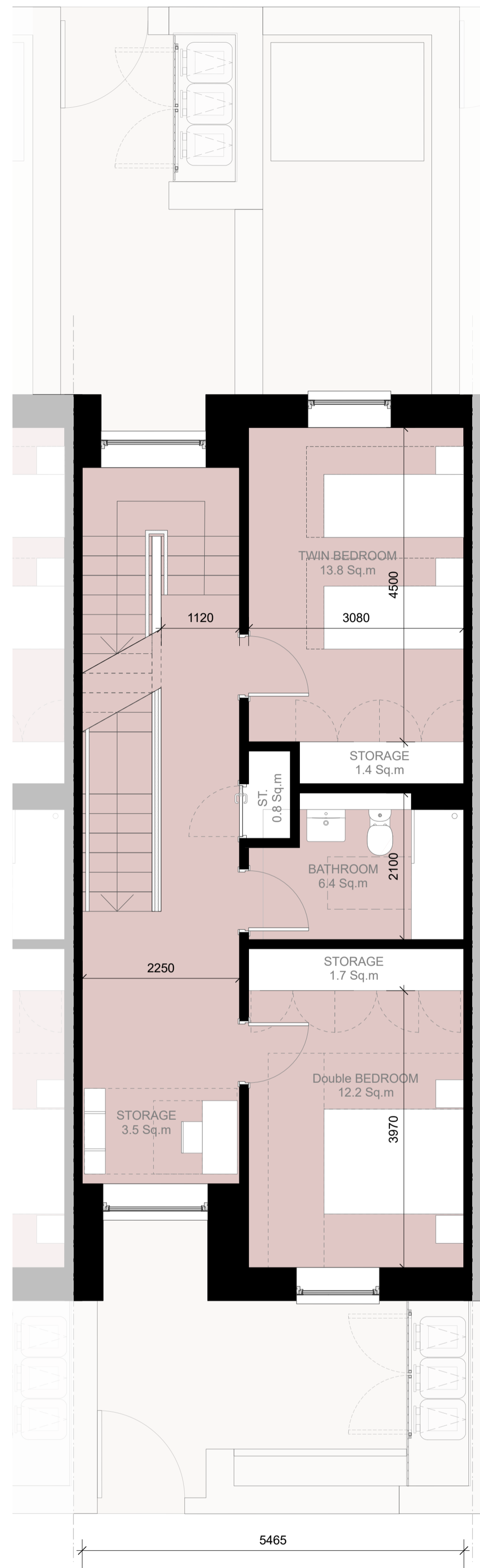
PROJECT: SOCIAL HOUSING AT ROSSFIELD, TALLAGHT
 DRAWING: PROPOSED ROOF FLOOR PLAN
 JOB NO: 2235 CLIENT: SOUTH DUBLIN CITY COUNCIL
 DATE: DEC '23 SCALE: 1:100 @A1 / 1:200 @A3
 PAUL KEOGH ARCHITECTS, CATHEDRAL COURT, NEW ST., DUBLIN 8.
 TEL NO: 01 6791551 FAX NO: 01 6793476 E-MAIL: info@pka.ie
DRAWING NO.: 2235 / PA / 004 / A



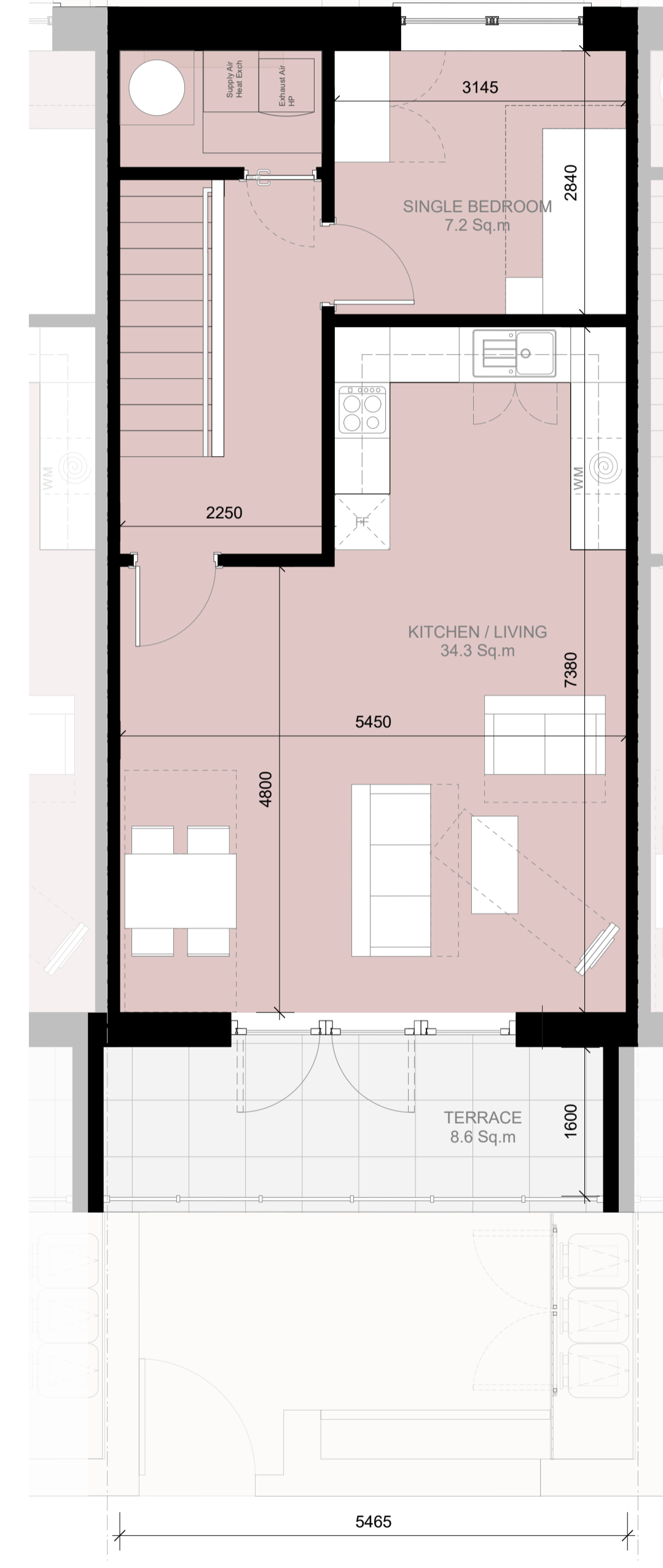
STATUS : PR - PRELIMINARY ISSUE; FI - FOR INFORMATION; FA - FOR APPROVAL; FP - FOR PRICING; FC - FOR CONSTRUCTION
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1 UNIT TYPE A (1B/2P) - GROUND FLOOR
PA-009 1:50 @A1 / 1:100 @A3



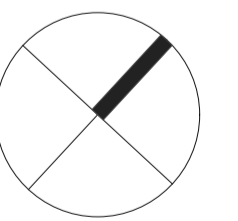
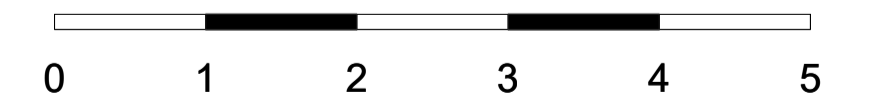
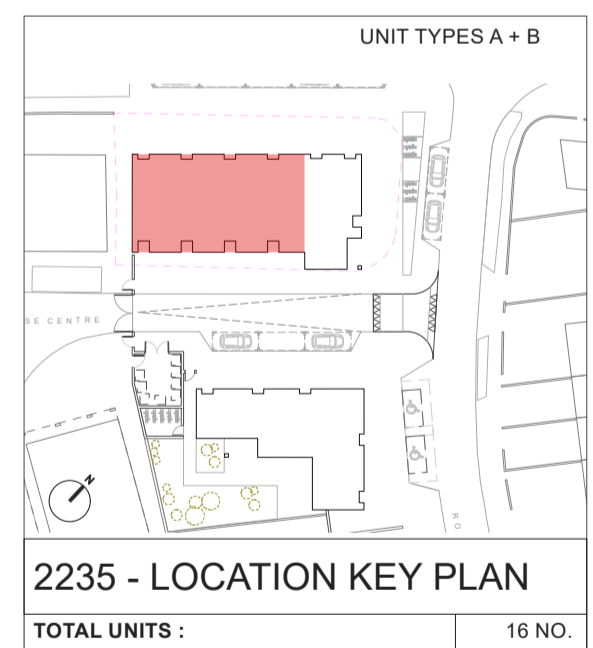
1 UNIT TYPE B (3B/5P) - FIRST FLOOR
PA-009 1:50 @A1 / 1:100 @A3



1 UNIT TYPE B (3B/5P) - SECOND FLOOR
PA-009 1:50 @A1 / 1:100 @A3

DWELLING TYPE	NO. OF UNITS	TOTAL LIVING AREA	BEDROOM 1 AREA	BEDROOM 2 AREA	BEDROOM 3 AREA	TOTAL BEDROOM AREA	PRIVATE AMENITY SPACE	STORAGE	NET FLOOR AREA	GROSS FLOOR AREA
Unit Type A: 1 BED/2P Apartment [UD]	4 NO.	23.5	13			13	12.4	2.6	53.4	53.4
DHPLG / UD		23	13 [UD]			13 [UD]	5	3	45	45
Unit Type B: 3 BED/5P Apartment	4 NO.	34.3	12.2	13.8	7.2	33.4	8.6	8	111.5	119.8
DHPLG		34	11.4	13	7.1	31.5	9	9	90	90

NOTE: ALL RESIDENTIAL UNITS TO COMPLY WITH BUILDING REGULATIONS TGD PART M ACCESS AND USE.



REVISIONS	STATUS	DRAWN	CHECKED
A	13/12/23	COF	PK

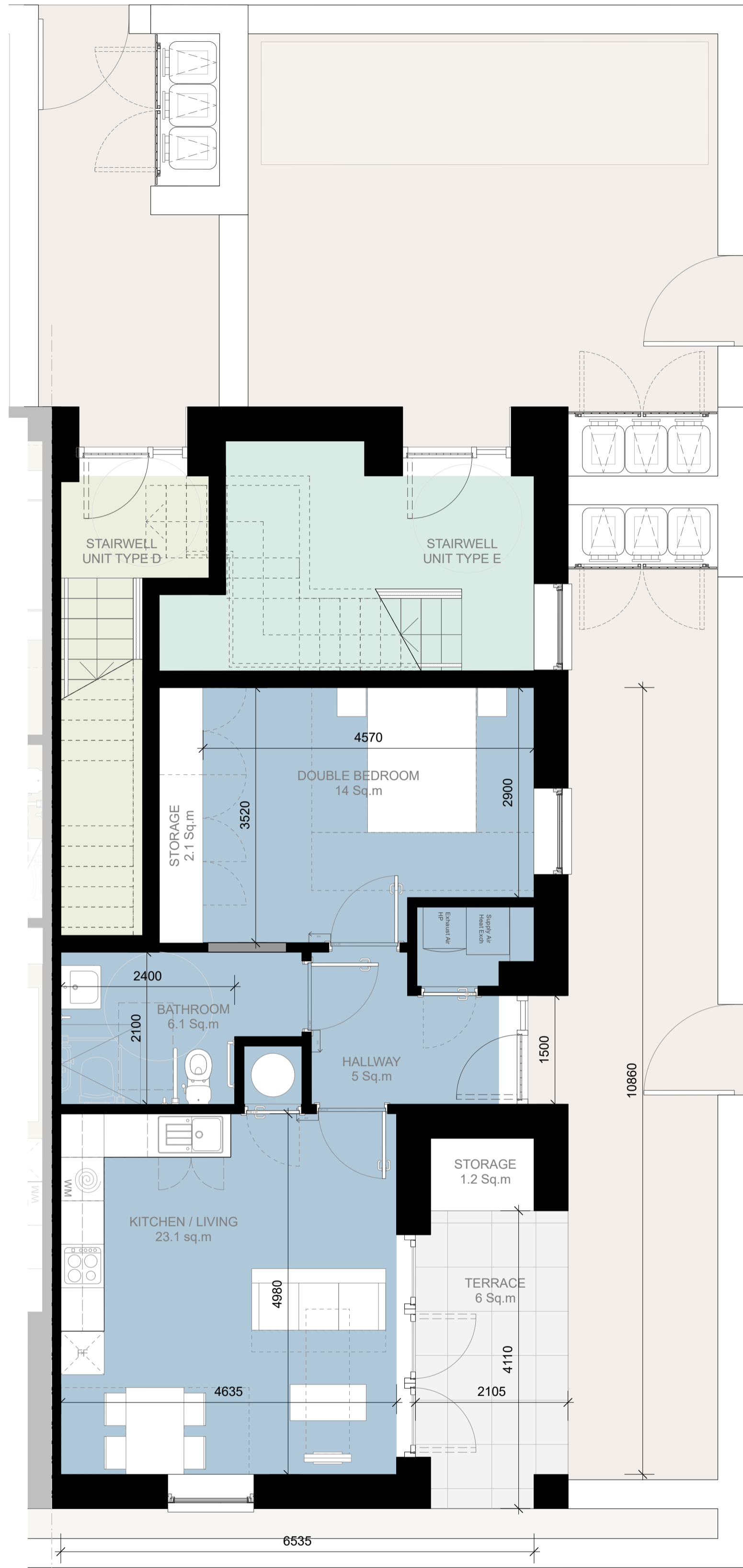
PROJECT: SOCIAL HOUSING AT ROSSFIELD, TALLAGHT
 DRAWING: UNIT TYPE PLANS
 JOB NO: 2235 CLIENT: SOUTH DUBLIN CITY COUNCIL
 DATE: DEC '23 SCALE: 1:50 @A1 / 1:100 @A3
 PAUL KEOGH ARCHITECTS, CATHEDRAL COURT, NEW ST., DUBLIN 8.
 TEL NO: 01 6791551 FAX NO: 01 6793476 E-MAIL: info@pka.ie

DRAWING NO.: 2235 / PA / 009 / A

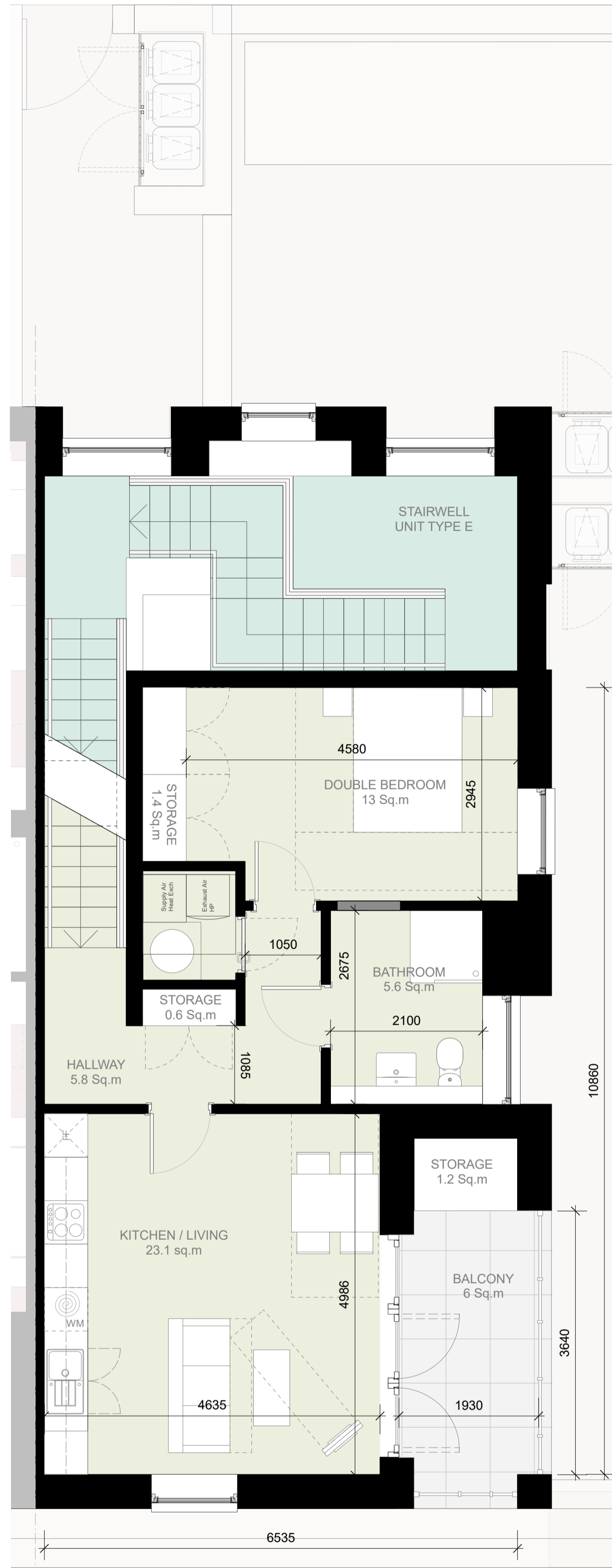


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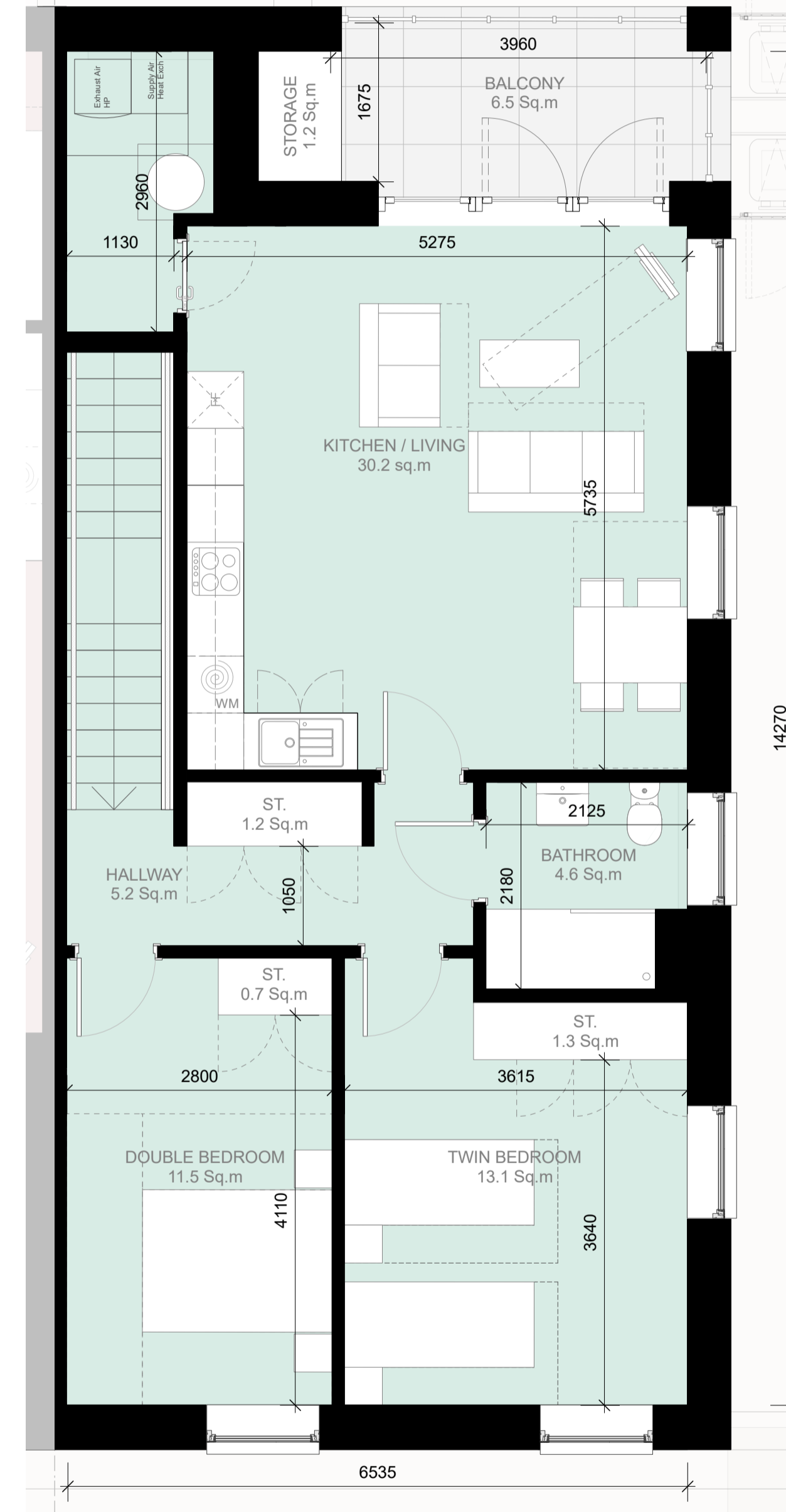
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1 UNIT TYPE C (1B/2P) - GROUND FLOOR
PA-010 1:50 @A1 / 1:100 @A3

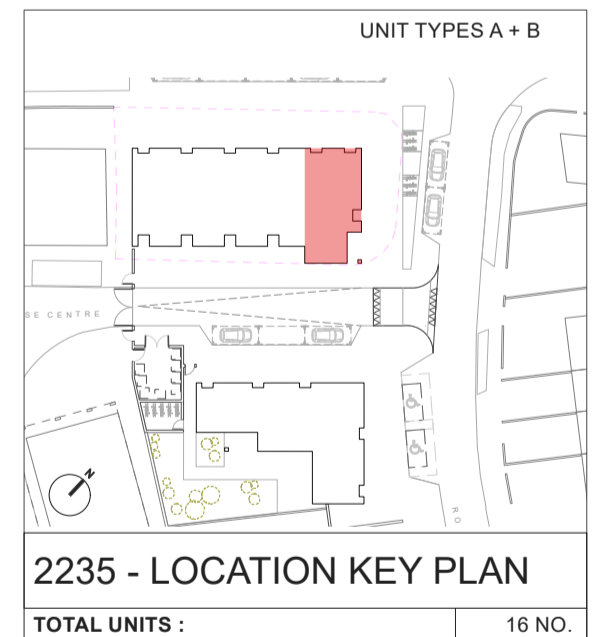


1 UNIT TYPE D (1B/2P) - FIRST FLOOR
PA-010 1:50 @A1 / 1:100 @A3

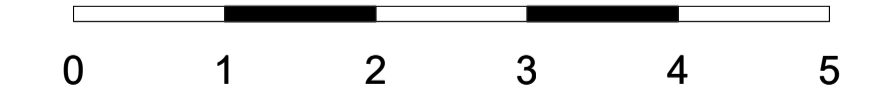
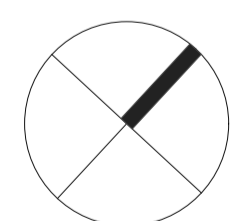


1 UNIT TYPE E (2B/4P) - SECOND FLOOR
PA-010 1:50 @A1 / 1:100 @A3

NOTE: ALL RESIDENTIAL UNITS TO COMPLY WITH BUILDING REGULATIONS TGD PART M ACCESS AND USE.



2235 - LOCATION KEY PLAN
TOTAL UNITS : 16 NO.



DWELLING TYPE	NO. OF UNITS	TOTAL LIVING AREA	BEDROOM 1 AREA	BEDROOM 2 AREA	TOTAL BEDROOM AREA	PRIVATE AMENITY SPACE	STORAGE	NET FLOOR AREA	GROSS FLOOR AREA
		m2			m2				
Unit Type C: 1 BED/2P Apartment [UD]	1 NO.	23.1	14		14	6	3.3	55.3	55.3
DHPLG / UD		23	13 [UD]		13 [UD]	5	3	45	
Unit Type D: 1 BED/2P Apartment [UD]	1 NO.	23.1	13		13	6	3.2	55	63.6
DHPLG / UD		23	13 [UD]		13 [UD]	5	3	45	
Unit Type E: 2 BED/4P Apartment	1 NO.	30.2	11.5	13.1	24.6	6.5	4.4	77.8	99.9
DHPLG		30	11.4	13	24.4	6	7	73	

REVISIONS	STATUS	DRAWN	CHECKED
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PROJECT: SOCIAL HOUSING AT ROSSFIELD, TALLAGHT
 DRAWING: UNIT TYPE PLANS
 JOB NO: 2235 CLIENT: SOUTH DUBLIN CITY COUNCIL
 DATE: DEC '23 SCALE: 1:50 @A1 / 1:100 @A3
 PAUL KEOGH ARCHITECTS, CATHEDRAL COURT, NEW ST., DUBLIN 8.
 TEL NO: 01 6791551 FAX NO: 01 6793476 E-MAIL: info@pka.ie

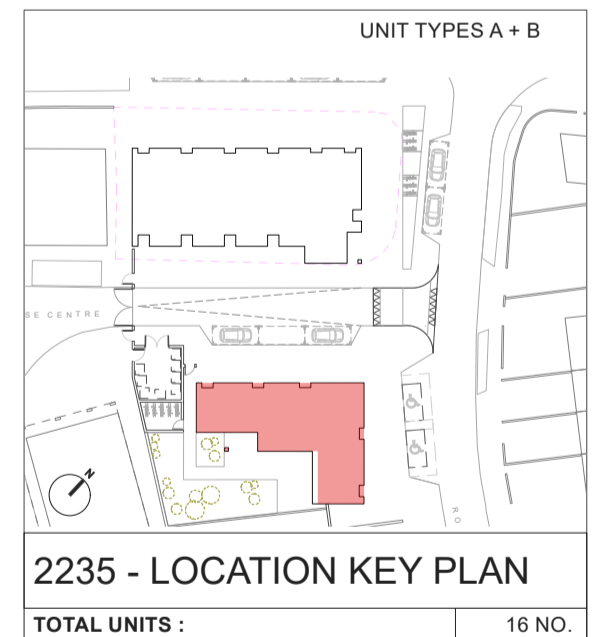
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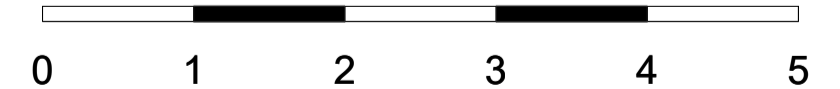
DWELLING TYPE	NO. OF UNITS	TOTAL LIVING AREA	BEDROOM 1 AREA	BEDROOM 2 AREA	TOTAL BEDROOM AREA	PRIVATE AMENITY SPACE	STORAGE	NET FLOOR AREA	GROSS FLOOR AREA
Unit Type H: 2 BED/3P Apartment	1 NO.	31.8	7.1	13.1	20.2	8.3	4.7	75.6	87.5
DHPLG / UD		28	7.1	13	20.1	6	5	63	
Unit Type J: 2 BED/3P Apartment	1 NO.	28.6	7.2	13.2	20.4	7	4	73.5	86.3
DHPLG		28	7.1	13	20.1	6	5	63	

NOTE: ALL RESIDENTIAL UNITS TO COMPLY WITH BUILDING REGULATIONS TGD PART M ACCESS AND USE.



1 UNIT TYPE J (2B/3P) - FIRST FLOOR
1:50 @A1 / 1:100 @A3

2 UNIT TYPE H (2B/3P) - FIRST FLOOR
1:50 @A1 / 1:100 @A3



REVISIONS	STATUS	DRAWN	CHECKED
A	13/12/23	COF	PK

PROJECT: SOCIAL HOUSING AT ROSSFIELD, TALLAGHT
DRAWING: UNIT TYPE PLANS
JOB NO: 2235 CLIENT: SOUTH DUBLIN CITY COUNCIL
DATE: DEC '23 SCALE: 1:50 @A1 / 1:100 @A3
PAUL KEOGH ARCHITECTS, CATHEDRAL COURT, NEW ST., DUBLIN 8.
TEL NO: 01 6791551 FAX NO: 01 6793476 E-MAIL: info@pka.ie

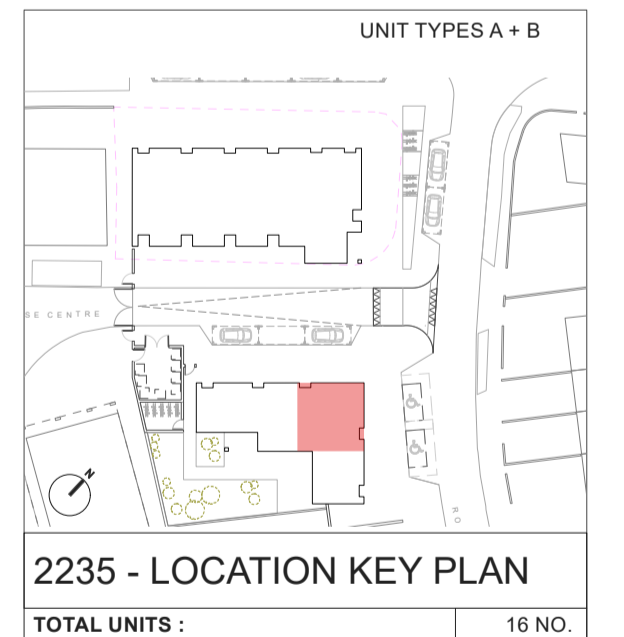
DRAWING NO.: 2235 / PA / 012 / A

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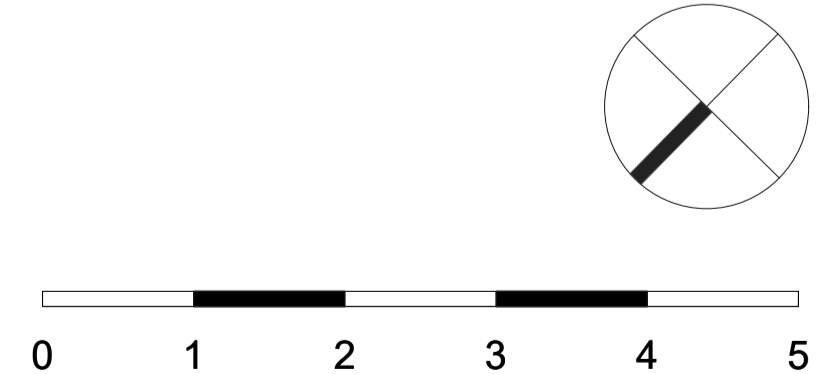
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DWELLING TYPE	NO. OF UNITS	TOTAL LIVING AREA	BEDROOM 1 AREA	BEDROOM 2 AREA	TOTAL BEDROOM AREA	PRIVATE AMENITY SPACE	STORAGE	NET FLOOR AREA	GROSS FLOOR AREA
			m2		m2				
Unit Type H: 2 BED/3P Apartment	1 NO.	23.4	11.5		11.5	7	3.1	51.8	74.8
DHPLG		23	11.4		11.4	5	3	45	

NOTE: ALL RESIDENTIAL UNITS TO COMPLY WITH BUILDING REGULATIONS TGD PART M ACCESS AND USE.



1 UNIT TYPE K (1B/2P) - SECOND FLOOR
1:50 @A1 / 1:100 @A3



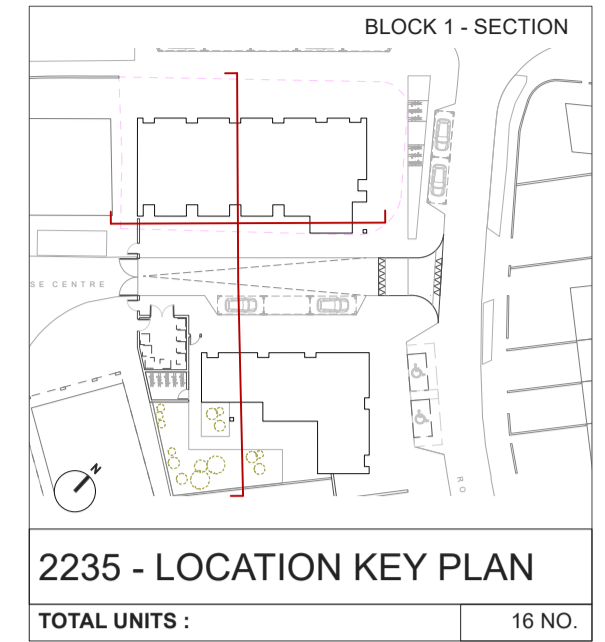
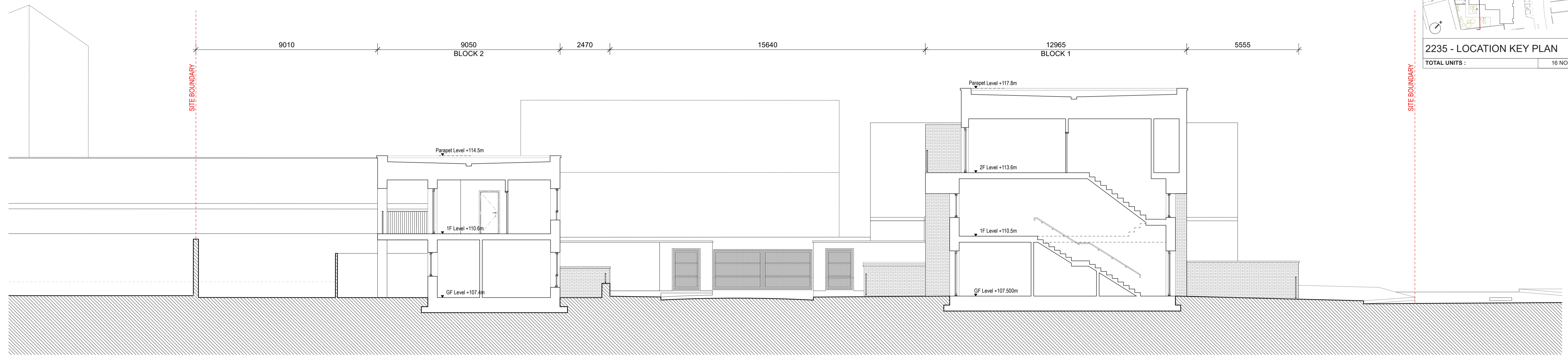
REVISIONS	STATUS	DRAWN	CHECKED
A	13/12/23 S179A PLANNING	COF	PK

PROJECT: SOCIAL HOUSING AT ROSSFIELD, TALLAGHT
DRAWING: UNIT TYPE PLANS
JOB NO: 2235 CLIENT: SOUTH DUBLIN CITY COUNCIL
DATE: DEC '23 SCALE: 1:50 @A1 / 1:100 @A3
PAUL KEOGH ARCHITECTS, CATHEDRAL COURT, NEW ST., DUBLIN 8.
TEL NO: 01 6791551 FAX NO: 01 6793476 E-MAIL: info@pka.ie

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1
PA-005
BLOCK 1 - SECTION AA
1:100 @A1 / 1:200 @A3



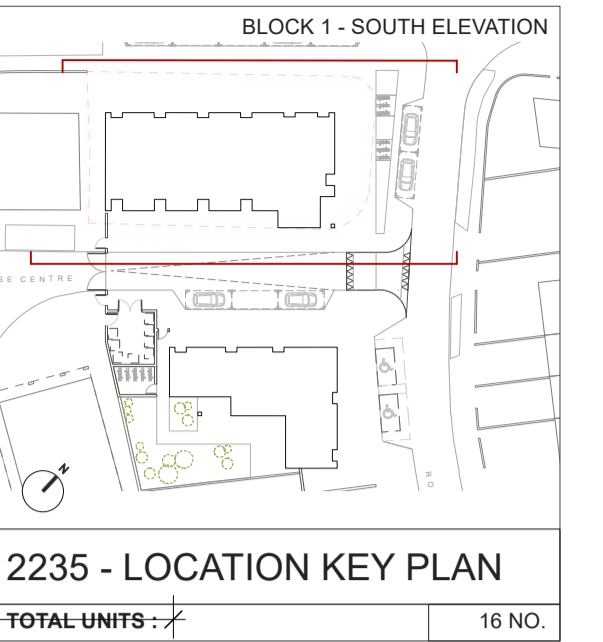
2
PA-005
BLOCK 1 - SECTION BB
1:100 @A1 / 1:200 @A3



REVISIONS	STATUS	DRAWN	CHECKED
A	13/12/23	S179A PLANNING	COF PK

PROJECT: SOCIAL HOUSING AT ROSSFIELD, TALLAGHT
DRAWING: BLOCK 1 - SECTION AA / BB
JOB NO: 2235 CLIENT: SOUTH DUBLIN CITY COUNCIL
DATE: DEC '23 SCALE: 1:100 @A1 / 1:200 @A3
PAUL KEOGH ARCHITECTS, CATHEDRAL COURT, NEW ST., DUBLIN 8.
TEL NO: 01 6791551 FAX NO: 01 6793476 E-MAIL: info@pka.ie
DRAWING NO.: 2235 / PA / 005 / A
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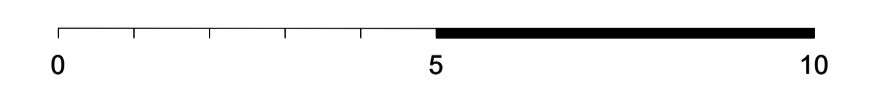
STATUS : PR - PRELIMINARY ISSUE; FI - FOR INFORMATION; FA - FOR APPROVAL; FP - FOR PRICING; FC - FOR CONSTRUCTION



1 BLOCK 1 - SOUTH ELEVATION
1:100 @A1 / 1:200 @A3
PA-007




2 BLOCK 1 - NORTH ELEVATION
1:100 @A1 / 1:200 @A3
PA-007

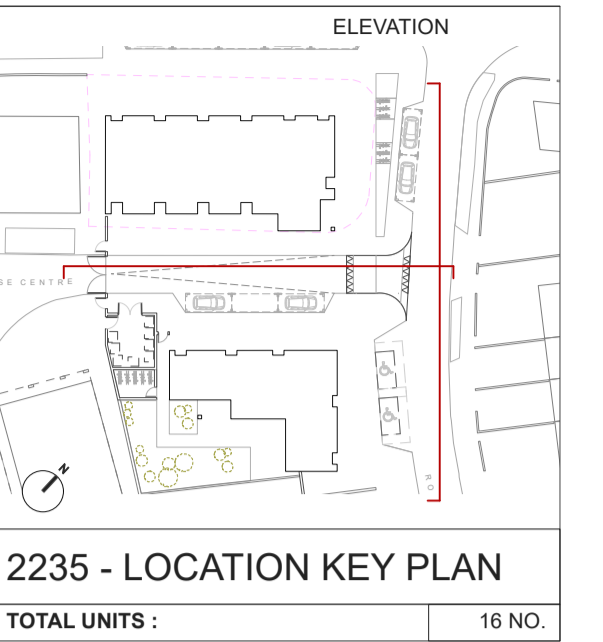


REVISIONS	STATUS	DRAWN	CHECKED
A	13/12/23	S179A PLANNING	COF PK

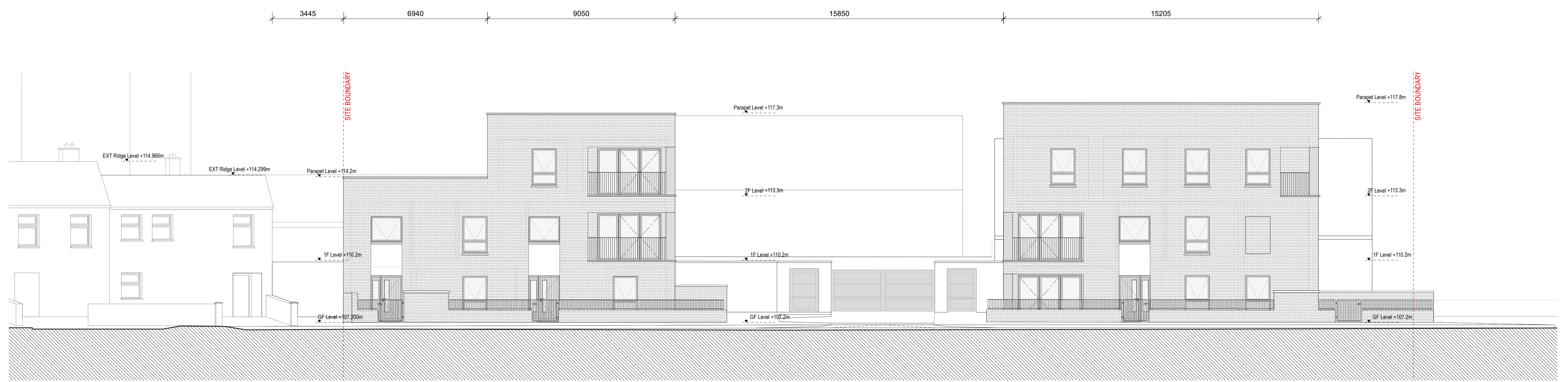
PROJECT: SOCIAL HOUSING AT ROSSFIELD, TALLAGHT
DRAWING: BLOCK 1 - ELEVATIONS
JOB NO: 2235 CLIENT: SOUTH DUBLIN CITY COUNCIL
DATE: DEC '23 SCALE: 1:100 @A1 / 1:200 @A3
PAUL KEOGH ARCHITECTS, CATHEDRAL COURT, NEW ST., DUBLIN 8.
TEL NO: 01 6791551 FAX NO: 01 6793476 E-MAIL: info@pka.ie
DRAWING NO.: 2235 / PA / 007 / A
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1
PA-008
BLOCK 1 - NORTH ELEVATION
1:100 @A1 / 1:200 @A3



2
PA-008
EAST ELEVATION
1:100 @A1 / 1:200 @A3



REVISIONS	STATUS	DRAWN	CHECKED
A	13/12/23	S179A PLANNING	COF PK

PROJECT: SOCIAL HOUSING AT ROSSFIELD, TALLAGHT
DRAWING: BLOCK 2 - ELEVATIONS
JOB NO: 2235 CLIENT: SOUTH DUBLIN CITY COUNCIL
DATE: DEC '23 SCALE: 1:100 @A1 / 1:200 @A3
PAUL KEOGH ARCHITECTS, CATHEDRAL COURT, NEW ST., DUBLIN 8.
TEL NO: 01 6791551 FAX NO: 01 6793476 E-MAIL: info@pka.ie
DRAWING NO.: 2235 / PA / 008 / A



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1
PA-014

VIEW ALONG BROOKFIELD ROAD



2
PA-014

VIEW OF BLOCK 1 ALONG ROSSFIELD AVENUE



3
PA-014

VIEW FROM ROSSFIELD AVENUE



4
PA-014

VIEW OF BLOCK 2 ALONG ROSSFIELD AVENUE

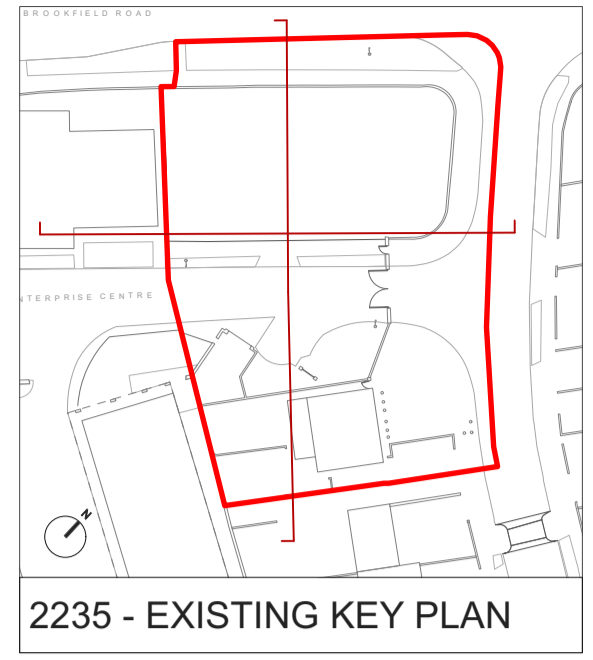
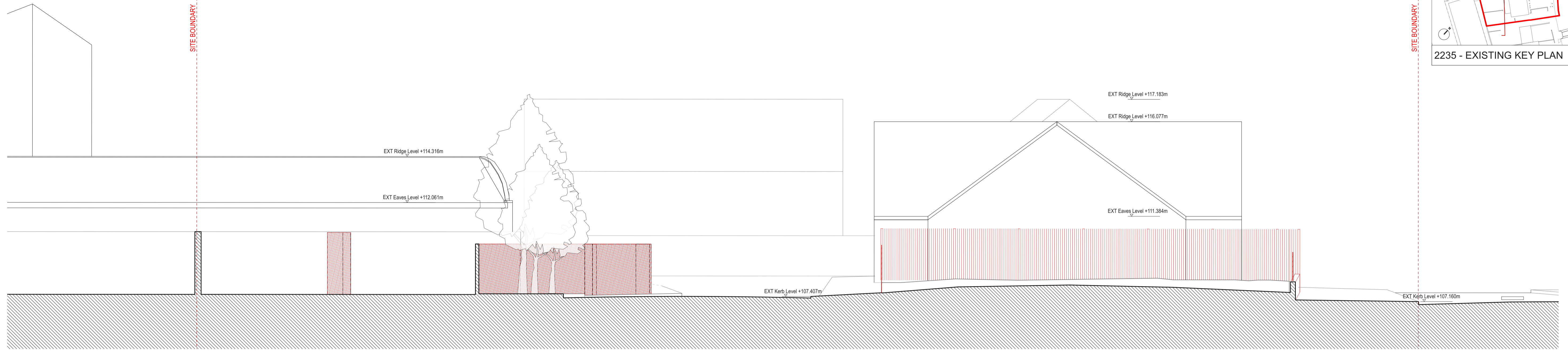
REVISIONS	STATUS	DRAWN	CHECKED
A	13/12/23 S179A PLANNING	COF	PK

STATUS : PR - PRELIMINARY ISSUE; FI - FOR INFORMATION; FA - FOR APPROVAL; FP - FOR PRICING; FC - FOR CONSTRUCTION

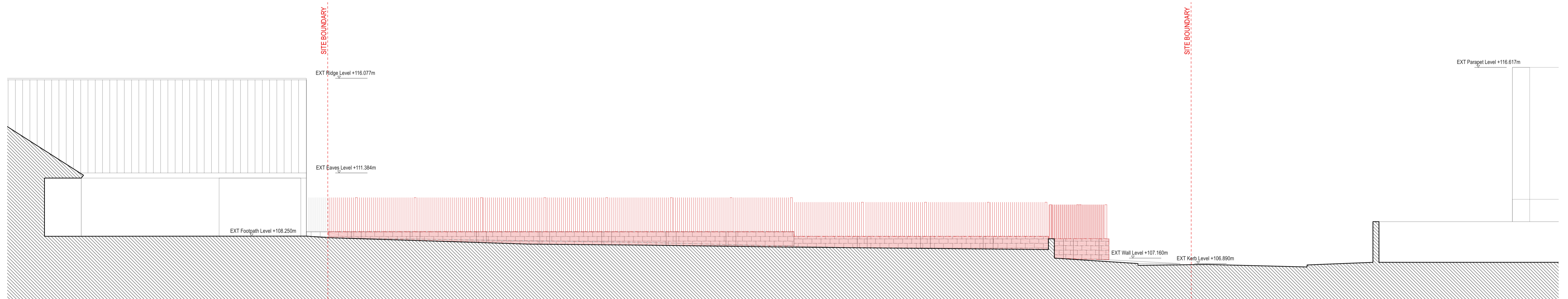
PROJECT: SOCIAL HOUSING AT ROSSFIELD, TALLAGHT
 DRAWING: PROPOSED - 3D VIEWS
 JOB NO: 2235 CLIENT: SOUTH DUBLIN CITY COUNCIL
 DATE: DEC '23 SCALE: -
 PAUL KEOGH ARCHITECTS, CATHEDRAL COURT, NEW ST., DUBLIN 8.
 TEL NO: 01 6791551 FAX NO: 01 6793476 E-MAIL: info@pka.ie
DRAWING NO.: 2235 / PA / 014 / A



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1
SV-001
EXISTING - SECTION AA
1:100 @A1 / 1:200 @A3



2
SV-001
EXISTING - SECTION BB
1:100 @A1 / 1:200 @A3

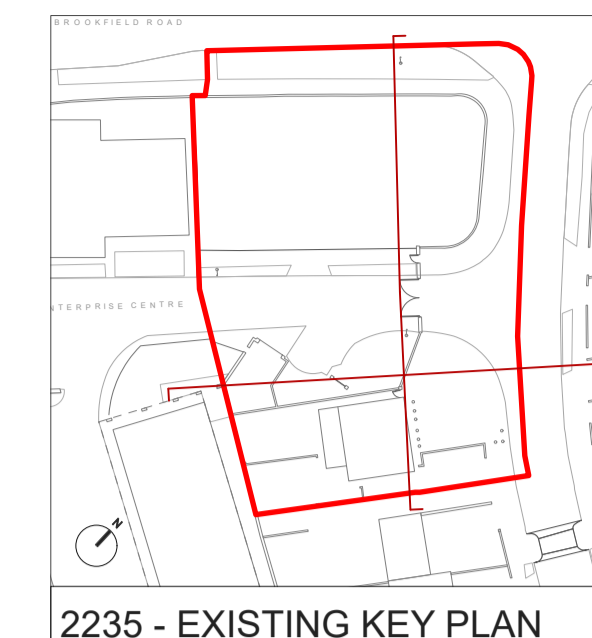


REVISIONS	STATUS	DRAWN	CHECKED
A	13/12/23	S179A PLANNING	COF

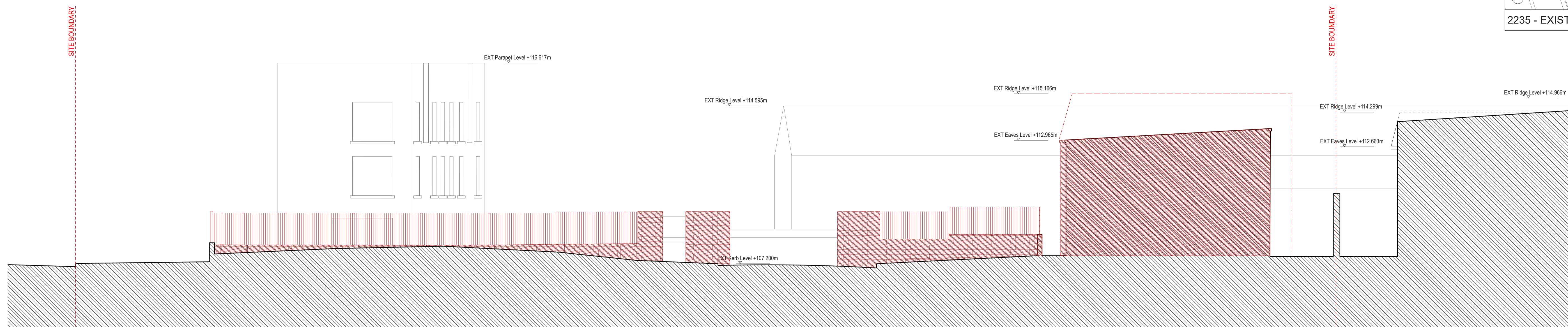
PROJECT: SOCIAL HOUSING AT ROSSFIELD, TALLAGHT
DRAWING: EXISTING - SECTION AA / BB
JOB NO: 2235 CLIENT: SOUTH DUBLIN CITY COUNCIL
DATE: DEC '23 SCALE: 1:100 @A1 / 1:200 @A3
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TEL NO: 01 6791551 FAX NO: 01 6793476 E-MAIL: info@pka.ie
DRAWING NO.: 2235 / SV / 001 / A



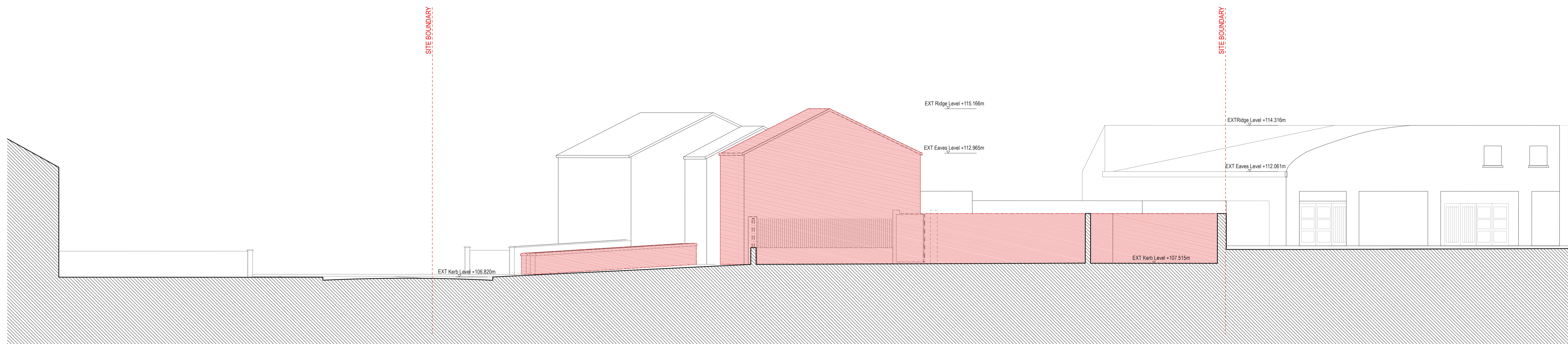
STATUS : PR - PRELIMINARY ISSUE; FI - FOR INFORMATION; FA - FOR APPROVAL; FP - FOR PRICING; FC - FOR CONSTRUCTION
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2235 - EXISTING KEY PLAN



1
SV-002
EXISTING - SECTION CC
1:100 @A1 / 1:200 @A3



2
SV-002
EXISTING - SECTION DD
1:100 @A1 / 1:200 @A3



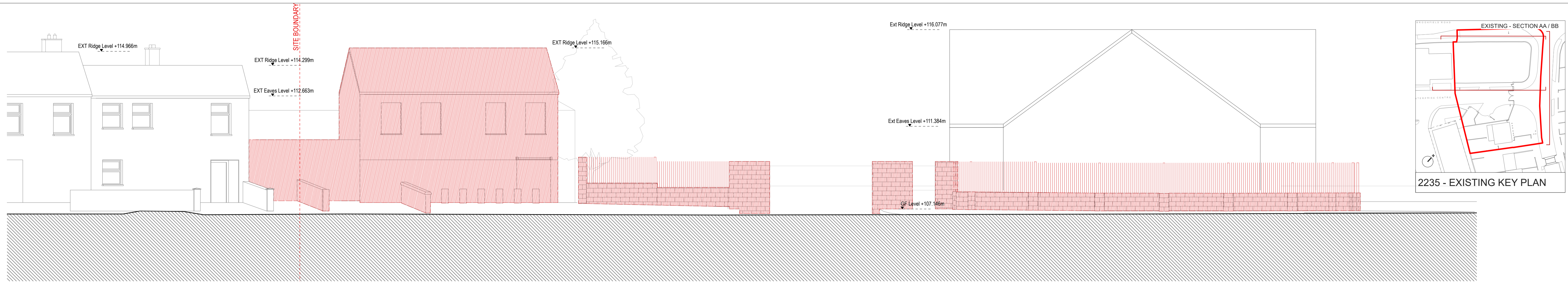
REVISIONS	STATUS	DRAWN	CHECKED
A	13/12/23	S179A PLANNING	COF PK

PROJECT: SOCIAL HOUSING AT ROSSFIELD, TALLAGHT
DRAWING: EXISTING - SECTION CC / DD
JOB NO: 2235 CLIENT: SOUTH DUBLIN CITY COUNCIL
DATE: DEC '23 SCALE: 1:100 @A1 / 1:200 @A3
PAUL KEOGH ARCHITECTS, CATHEDRAL COURT, NEW ST., DUBLIN 8.
TEL NO: 01 6791551 FAX NO: 01 6793476 E-MAIL: info@pka.ie

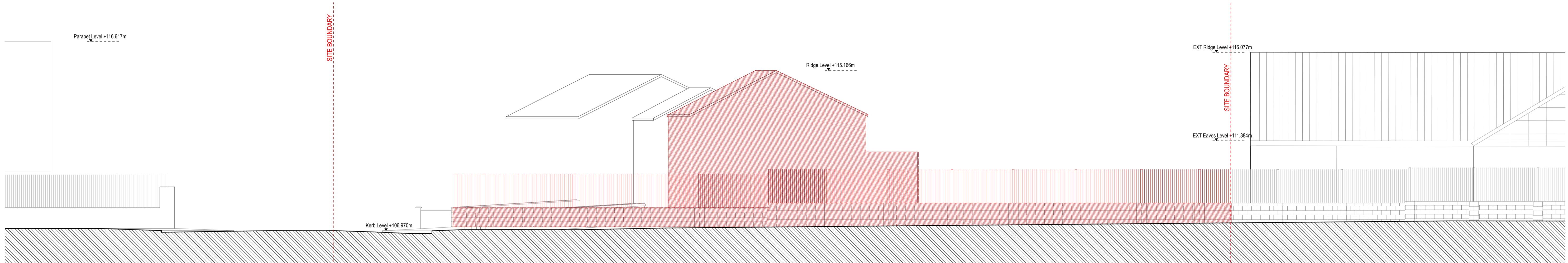
DRAWING NO.: 2235 / SV / 002 / A

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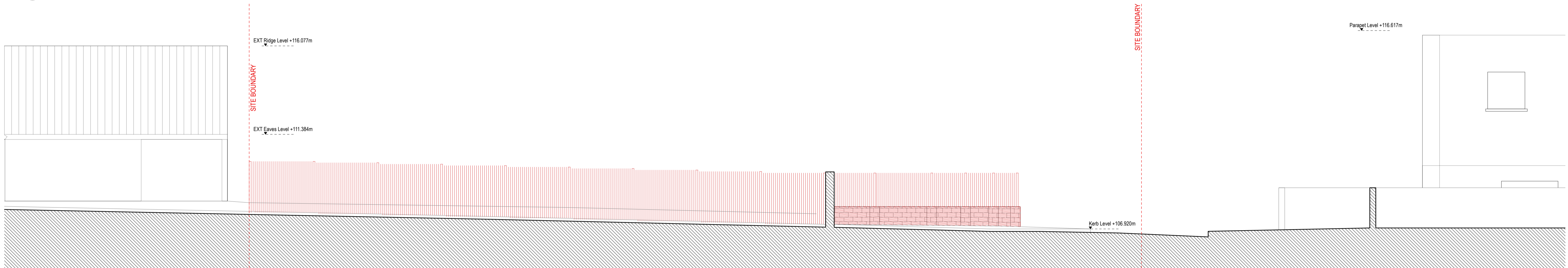
STATUS : PR - PRELIMINARY ISSUE; FI - FOR INFORMATION; FA - FOR APPROVAL; FP - FOR PRICING; FC - FOR CONSTRUCTION



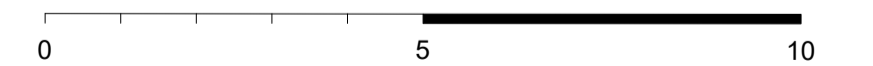
1
SV-003
EXISTING - EAST ELEVATION
1:100 @A1 / 1:200 @A3



2
SV-003
EXISTING - NORTH ELEVATION
1:100 @A1 / 1:200 @A3



3
SV-003
EXISTING - SOUTH ELEVATION
1:100 @A1 / 1:200 @A3



REVISIONS	STATUS	DRAWN	CHECKED
A	13/12/23	S179A PLANNING	COF PK

PROJECT: SOCIAL HOUSING AT ROSSFIELD, TALLAGHT
DRAWING: EXISTING ELEVATIONS
JOB NO: 2235 CLIENT: SOUTH DUBLIN CITY COUNCIL
DATE: DEC '23 SCALE: 1:100 @A1 / 1:200 @A3
PAUL KEOGH ARCHITECTS, CATHEDRAL COURT, NEW ST., DUBLIN 8.
TEL NO: 01 6791551 FAX NO: 01 6793476 E-MAIL: info@pka.ie
DRAWING NO.: 2235 / SV / 003 / A



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